

Hemblington Parish Council

Minutes of the Hemblington Parish Council Meeting held at Heathlands Community Centre on Monday 27th January 2025 at 7.30pm.

PRESENT

Present – Anthony Howe (Chair), Tim Powley, Bryan Slater, Caroline Ramsay, Jutta Koch and Steven Ford (Clerk).

1. The Chairman, Caroline Ramsay, welcomed those present.
2. **To consider apologies for absence and agree any necessary actions:**
John Applegate, Rose Niescierowicz.
3. **Open Forum - for parishioners to raise questions on and/or make statements about matters on the agenda:** District Councillor Newstead provided an update on the Government's plans for devolution. Seventeen or eighteen councils including Norfolk had been put forward for membership of the priority group that would be the first to go forward with devolution. As a result it was likely that the May elections would be deferred.
4. **Minutes of the Meeting held on 25th November.**
The council unanimously **RESOLVED** to approve the minutes of the meeting held on 25th November 2024.
5. **Matters arising from the Minutes not on the Agenda:** *for information only.*
None.
6. **Pedham Green – update on maintenance and improvements.**
It was **RESOLVED** to make a contribution of £500 from the Pedham Residents fund towards the cost of a sensory planter that the District Council would like to provide. More information on the size and location would be requested. Caroline Ramsay volunteered to look after the plants.
8. **Information boards for Hemblington**
Further minor corrections were noted. Caroline Ramsay would contact printers to ascertain the file format required and an up to price for the information boards.
9. **Planning:** No applications had been received.

FINANCE

11. **To approve invoices for payment and to note bank reconciliation.**
It was **RESOLVED** to authorise payments of voucher numbers 27 – 33 totaling £461.10. The Bank reconciliation showing £3,932.87 in the Community Account and £10,209.25 in the Premium Account was noted.
10. **Parish Clerk's correspondence**
None.
11. **Future agenda items. (Not for discussion).**
None.
12. To confirm the date of the next full Parish Council Meeting – 31st March 2025.

There being no further business the meeting closed at 8.24pm.

Signed.....

Dated 27th January 2025.



01

Hemblington Parish Council <hemblingtonpc@gmail.com>

Hemblington trod

Justin Le-May <justin.le-may@norfolk.gov.uk>

To: Hemblington Parish Council <hemblingtonpc@gmail.com>, Fran Whymark <fran.whymark.cllr@norfolk.gov.uk>

29 January 2025 at 15:26

Dear Steven

Bend signs (Diagram 512) may be used to give advance warning of a bend which a driver might find difficult to negotiate without slowing down and the severity of which cannot easily be seen either by day or by night. The symbol should indicate a bend to the left or right as appropriate. The degree of danger at a bend varies mainly with four factors – the speed of approach, the radius of curvature, the superelevation, and the skid resistance of the road surface. No uniform objective test can be applied, and traffic authorities must rely on a subjective assessment of these factors when deciding whether or not to use the sign. Care should be taken to ensure that a route is signed uniformly. The radius of curvature not only affects the safe speed appropriate to the bend, but it might also reduce forward visibility so that drivers need to slow down. The sign should be used sparingly and only to indicate a bend hazard. It should not be used simply to allay local apprehension regarding the speed of traffic. Over-use of the sign could compromise its contribution to road safety and add to sign clutter.

Given the similarity of the road layout along Pedham Road, 30mph speed limit, and in line with the above, we believe such an additional sign/s is not warranted.

A pedestrian in road ahead sign/s would be more viable, and generally these will need to be seen for vehicles travelling in both directions throughout the section. Cost will depend on potential utilisation of existing street furniture etc. As an estimate/example, to install (1 No) new post, foundation, pedestrian in road ahead (dia 544.1) sign and TM would be £307.13.



544.1
Pedestrians in road ahead

Regards

Justin

Justin Le-May, Highway Engineer North 2

Infrastructure (Highways)

North Area Highways Depot, Burgh Road, Aylsham, NR11 6AR



Norfolk County Council



From: Hemblington Parish Council <hemblingtonpc@gmail.com>

Sent: 16 January 2025 12:49

To: Justin Le-May <Justin.le-may@norfolk.gov.uk>; Fran Whymark <fran.whymark.cllr@norfolk.gov.uk>

Subject: Hemblington trod



Community at heart
The Horizon Centre
Broadland Business Park
Peachman Way
Norwich
NR7 0WF

12.1
/

Mr Steven Ford
Hemblington

Tel 01508 533813 / 01603 430509
planning@southnorfolkandbroadland.gov.uk

Our ref 2025/0714

11 March 2025

Dear Sir/Madam,

Proposal: Side Dormer

Location: Sestri Hemblington Hall Road Hemblington Norfolk NR13 4PY

Applicant: Mrs Sarah Palmer

Application Type: Householder

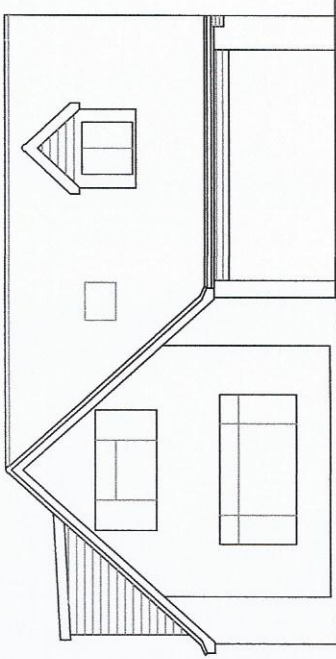
An application for permission for the proposal described above has been received. Details of the Case Officer and copies of the submitted plans can be viewed on-line at <https://info.southnorfolkandbroadland.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=SSWXSNOQN3200> by using the Further Information tab. **Please note:** any comments you make will also be available to view on-line.

You can submit your comments by emailing planning@southnorfolkandbroadland.gov.uk online at **www.southnorfolkandbroadland.gov.uk** or by post before 1 April 2025. If this is not possible or you wish to discuss the proposal before sending your comments please contact the case officer. **Please note:** any comments you make will be available to view on-line.

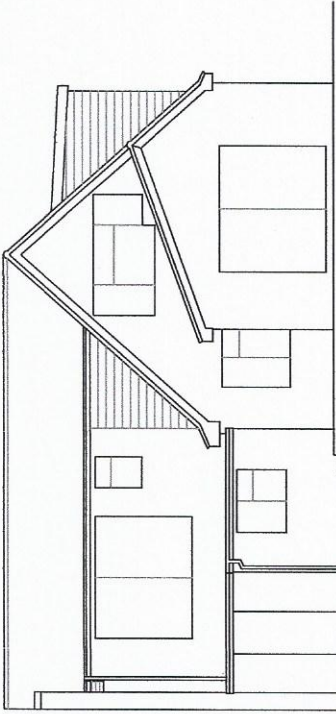
Where the application is to be determined by the Committee, a copy of the Agenda will be sent to you before the date of the meeting. A representative of your Council can speak at the meeting to present their views otherwise they will be reported to the Committee before a decision is reached.

Yours sincerely

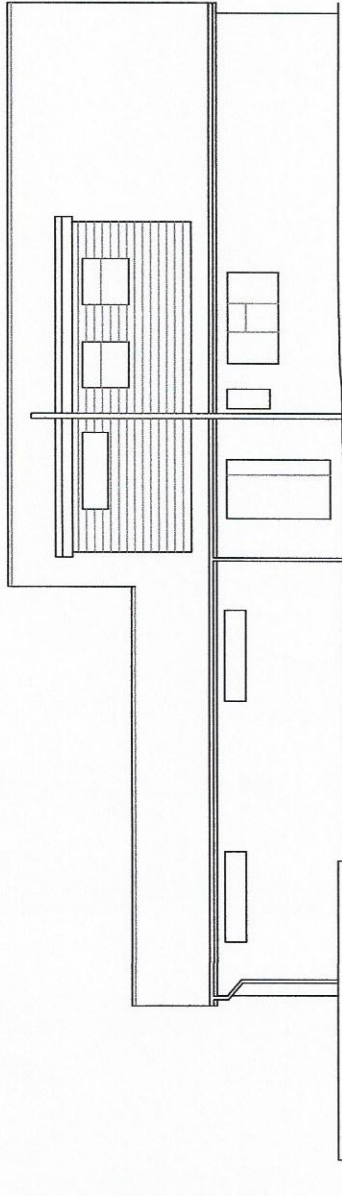
Development Management



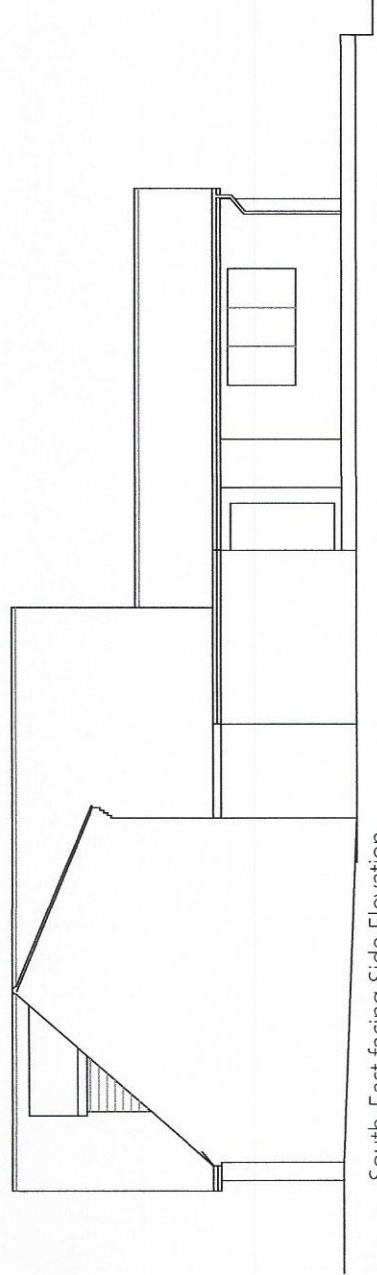
Front Elevation



Rear Elevation



North-West facing Side Elevation



South-East facing Side Elevation

SCALE BARS

This drawing is part of the Planning Application submission. Should any external elements differ from those drawing during construction, the Planning Department must be contacted to ascertain whether further Planning Approval is required.

This drawing is to be read as part of the Planning Information and Building Regulation drawing package.

All dimensions to be verified on site by the Builder before the start of works. Report any discrepancies to the Client immediately.

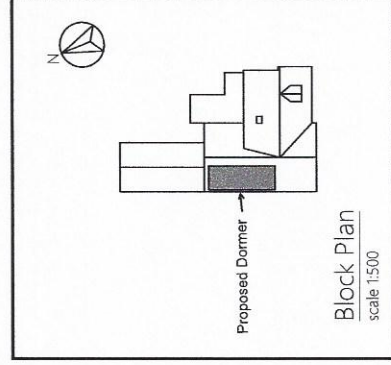
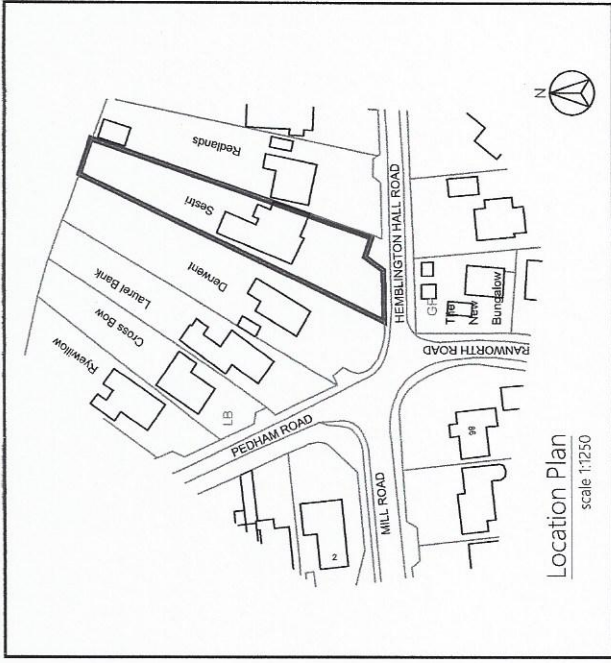
Rev	Date	Reason for Issue / Amendments
A	10.03.25	Title change, Submitted into Planning.
-	07.03.25	Client Issue for pre application check.

Design: Planning Building Regulations

JMR architectural designs

2 Holly Lane, Bilefold, Newch NR13 4BX
 www.jmrarchitecturaldesigns.co.uk
 email: julie@jmrdesigns.co.uk
 01603 77541 / 07526 327037

Client:	Mrs S. Palmer	Address:	Sestri Hemblington Hall Rd Hemblington NR13 4PY
Drawing Title:	As Proposed Elevations		
Date: 06.03.25	Scale: 1/100	A3	Dwg: 05
			Rev: A



SCALE BAR

1:200 0.2m 1m 2m 3m 4m 5m 6m 7m 8m 10m

This drawing is part of the Planning Application submission. Should any external element differ from these drawings during construction, the Planning Department must be contacted to ascertain whether further Planning approval is required.

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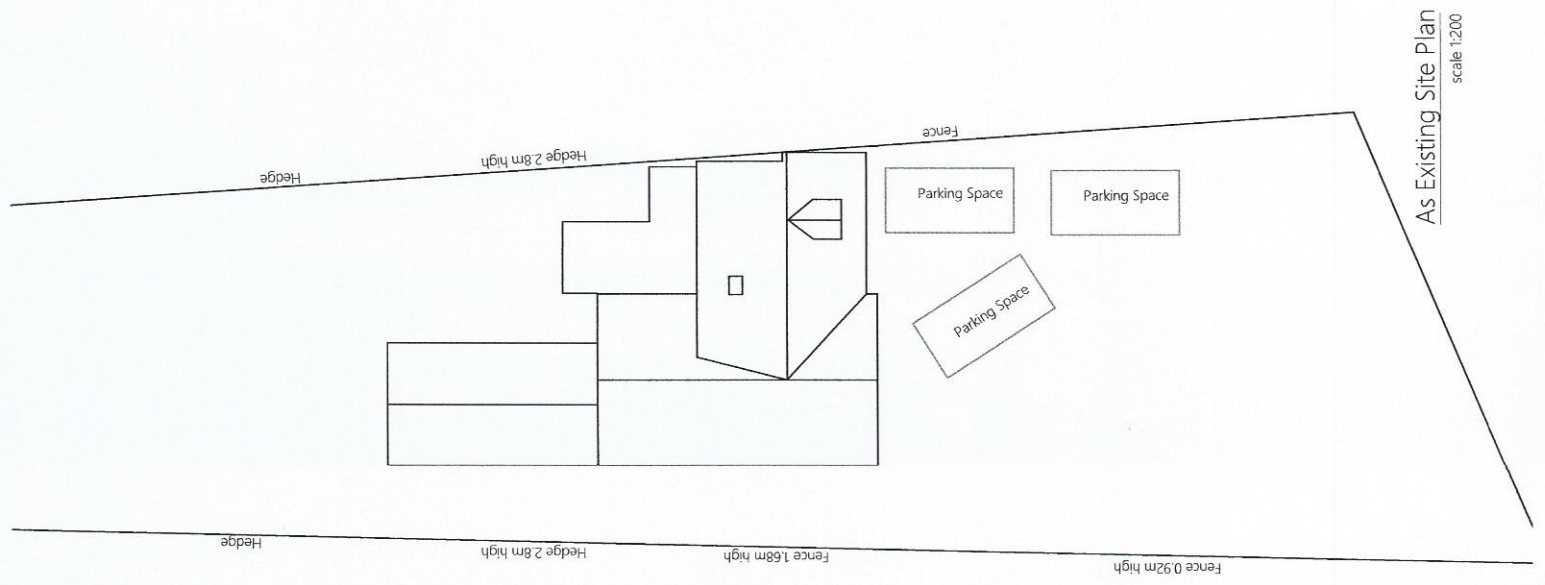
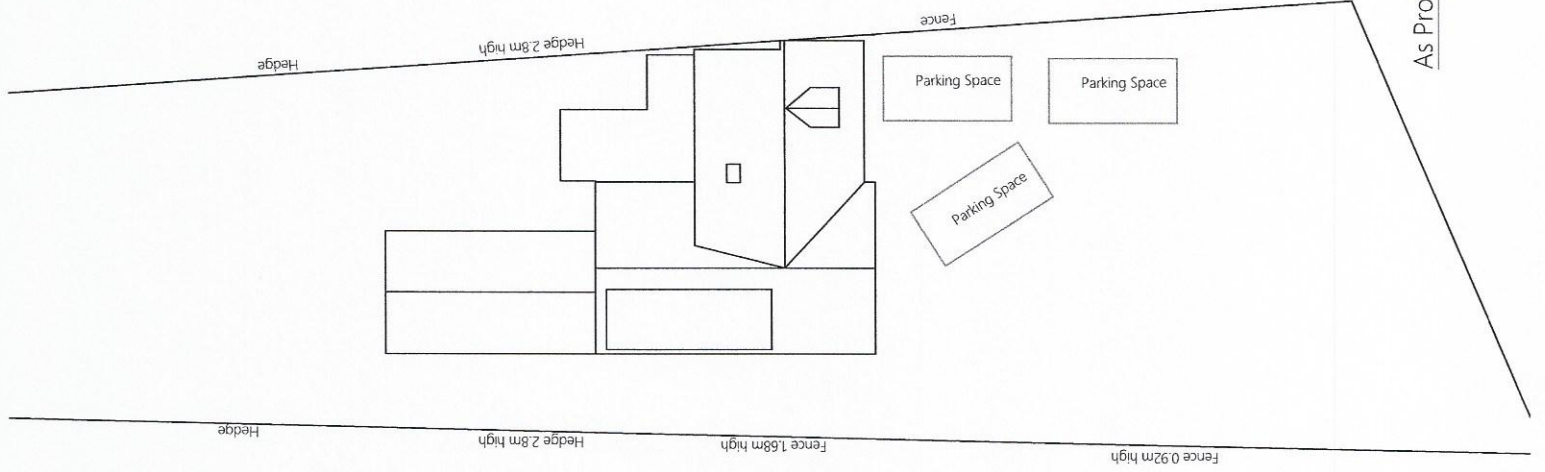
Rev.	Date	Reason for issue / amendments
A	10.03.25	Title change. Submitted into Planning.
-	07.03.25	Client issue for pre application check.

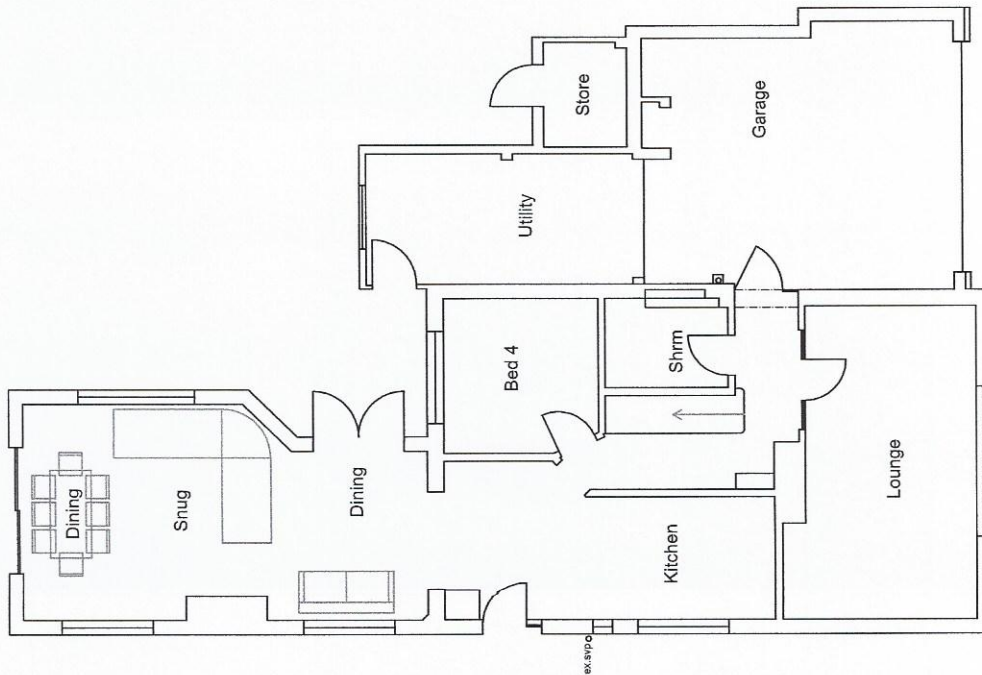
Design: Planning Building Regulations

JMR architectural designs

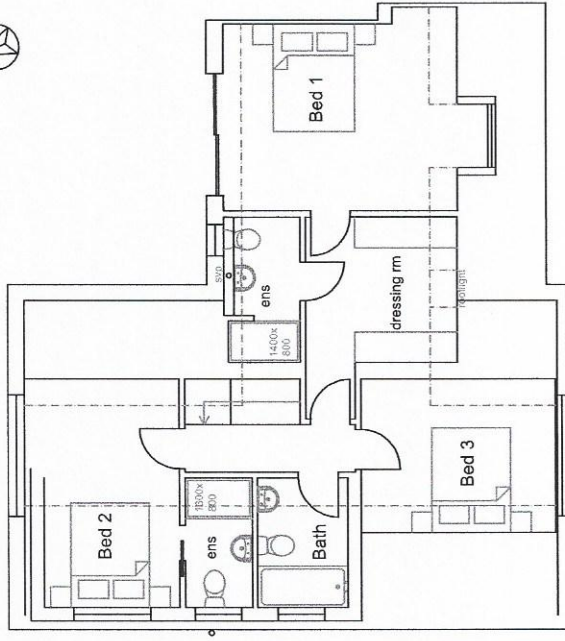
2 Holly Lane, Blockfield, Norwich NR13 4BX
www.jmrarchitecturaldesigns.co.uk
email: julie@jmrdesigns.co.uk
01603 775541 / 07505 970307

Client:	Sestri Hemlington Hall Rd Hemlington NR13 4PY			
Address:	Mrs S. Palmer			
Drawing title:	Location Plan, Block Plan Site Plans			
Date: 03.03.25	Scale: 1:200	A3	Dwg: 01	Rev: A





Ground Floor Plan



First Floor Plan

<p>SCALE BARS</p>	
<p>This drawing is part of the Planning Application submission. Should any external elements differ from these drawings during construction, the Planning Department must be contacted to ascertain whether further Planning approval is required.</p> <p>This drawing is to be read as part of the Planning information and Building Regulation drawing package.</p> <p>All dimensions to be verified on site by the Builder before the start of works. Report any discrepancies to the Client immediately.</p>	
<p>A 10.03.25 - 07.03.25</p>	<p>Title change. Submitted into Planning. Client Issue for pre application check.</p>
<p>Rev. Date</p>	<p>Reason for Issue / amendments</p>

Design: Planning, Building Regulations

JMR architectural designs

2 Holly Lane, Blockfield, Norwich NR13 4BX
 www.jmrarchitecturaldesigns.co.uk
 email: j.miller@jmrdesigns.co.uk
 01603 777541 / 07906 927037

<p>Client: Mrs S. Palmer</p>	<p>Address: Sestri Hemblington Hall Rd Hemblington NR13 4PY</p>
<p>Drawing Title: As Proposed Floor Plans</p>	<p>Date: 05.03.25 Scale: 1/100 A3 Dwg: 04 Rev: A</p>

Postcode

IP23 7JQ

Contact Details

12/2

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

***** REDACTED *****

Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

1. Conversion of 2 No. barns to dwellings including installation of sewage treatment plants, parking and landscaping.
2. Conversion of existing outbuilding to ancillary garden store.
3. Erection of detached cartlodge with PV panels to roof.
4. Widening

Reference number

20190166

Date of decision (date must be pre-application submission)

29/03/2019

Please state the condition number(s) to which this application relates

Condition number(s)

2

Has the development already started?

- Yes
 No

If Yes, please state when the development was started (date must be pre-application submission)

01/03/2022

Has the development been completed?

- Yes
 No

Internal Memorandum

To:	Tom Piggott Development Management
From:	Alex Grimmer Environmental Quality
My Ref:	25/03462/EPMM50
Your Ref:	2025/0686
Date:	10 March 2025

Planning Application : 2025/0686

Proposal : Variation of condition 2- Internal and external changes to barn 2 of original planning permission 20190166 (1. Conversion of 2 No. barns to dwellings including installation of sewage treatment plants parking and landscaping. 2. Conversion of existing outbuilding to ancillary garden store. 3. Erection of detached cartlodge with PV panels to roof. 4. Widening of existing vehicular access with tarmac resurfacing.)

Location : Hemblington Hall, Hemblington Hall Road, Hemblington

I write on behalf of the Environmental Quality Team in reply to your consultation regarding the above planning application. Having reviewed the application documentation, we have no objection to the variation of condition 2, but request that the condition below is added to the planning permission.

Installation of an Air Source heat Pump (ASHP) (Single Dwelling)

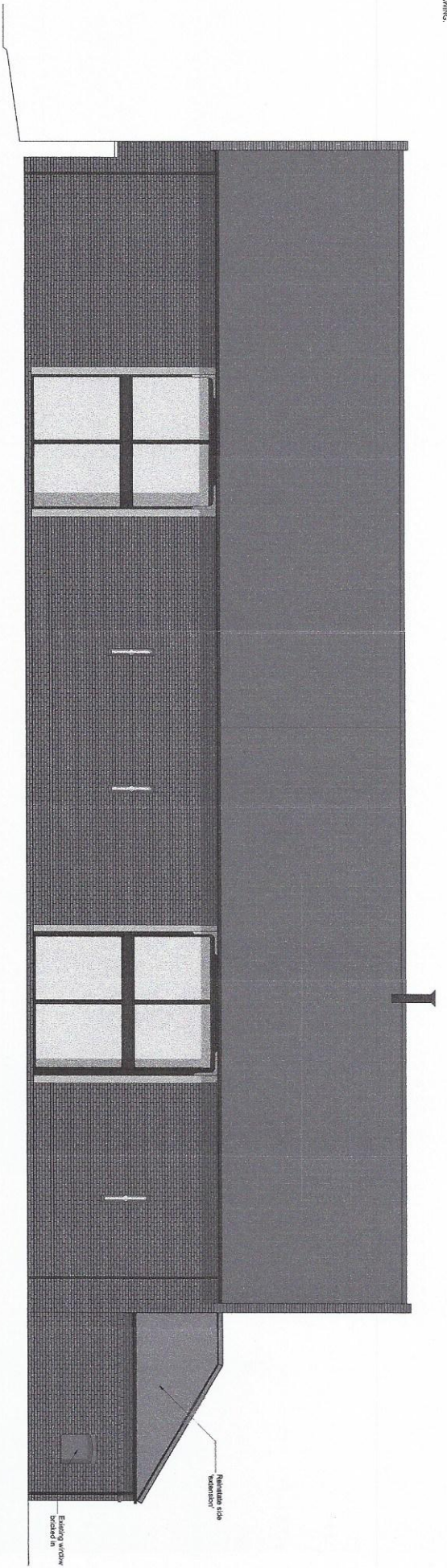
No Air Source Heat Pumps shall be installed unless full details of its design, location, sound levels (in dB) and completed MCS 20 Calculator provided first been submitted to and agreed in writing with the local planning authority. Such ASHP shall be installed and maintained in accordance with manufacturers guidance. The ASHP shall thereafter be implemented in accordance with the approved details and shall be retained as such thereafter.

Reason for the condition

Freephone: 0808 168 2000

www.southnorfolkandbroadland.gov.uk

EXISTING DIMENSIONS
 UNDERLAIN BY OTHERS.
 DO NOT RELY ON
 DIMENSIONS OR
 SCALE FROM THIS
 DRAWING.



PROPOSED FRONT ELEVATION (WEST)
 Scale: 1/50



PROPOSED REAR ELEVATION (EAST)
 Scale: 1/50

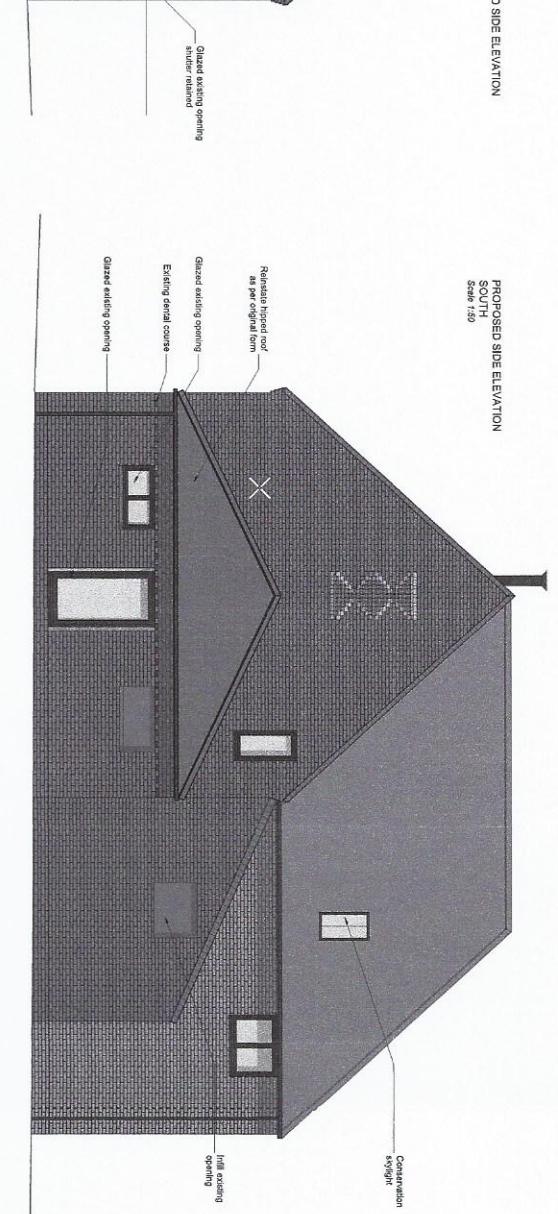
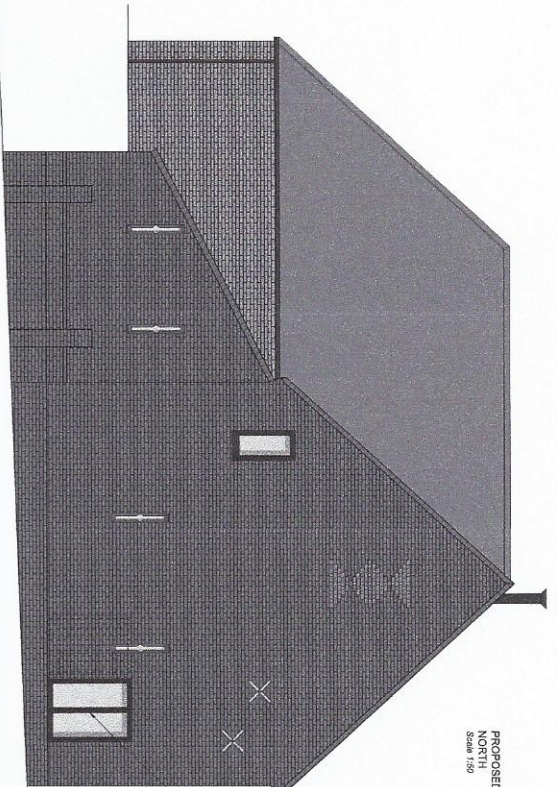
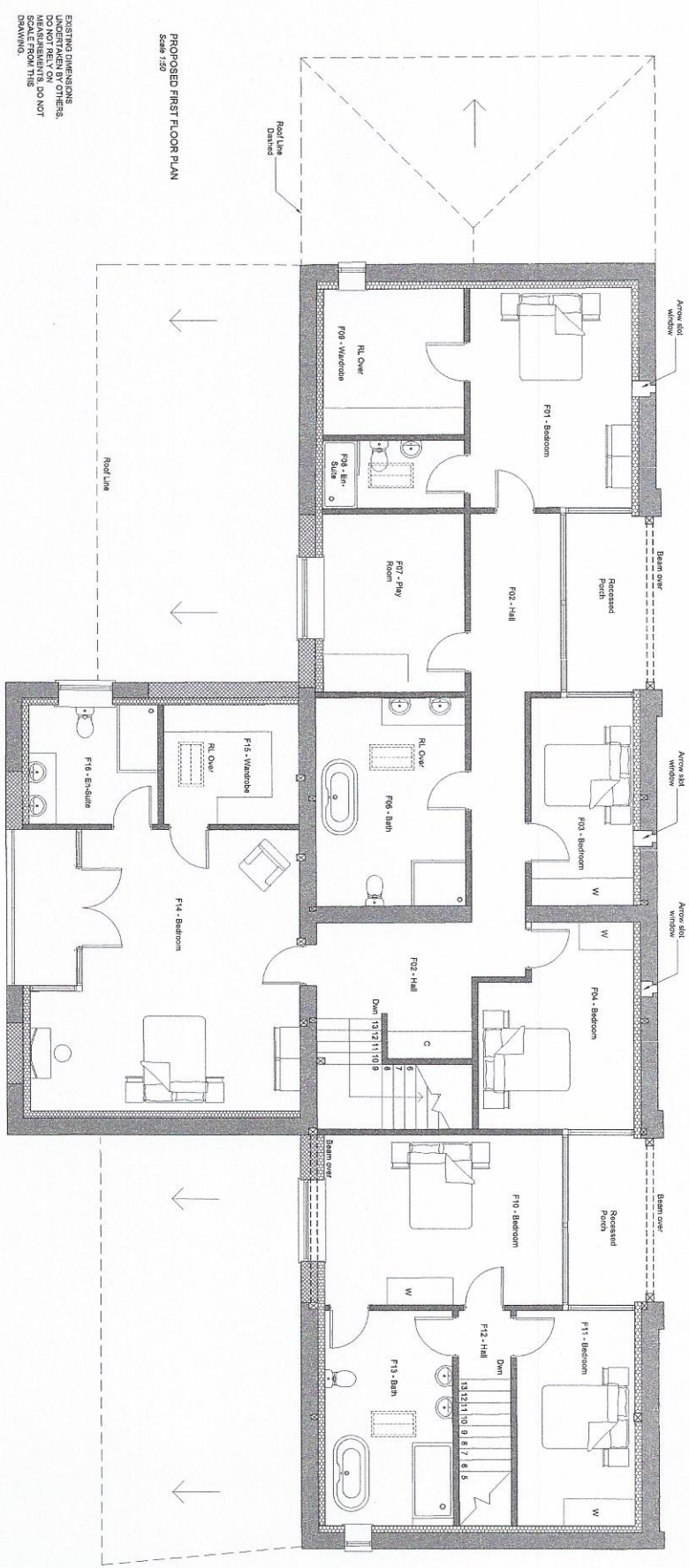


Proposed Front and Rear Elevations
 Barn Conversion at Hembington Hall
 25.01.03

Issue	Date	By	Checked	Approved
P1	FEB 25	199	P	DP
P2	FEB 25	199	P	DP
P3	FEB 25	199	P	DP

P1 FEB 25 FIRST ISSUE
 P2 FEB 25 SECOND ISSUE
 P3 FEB 25 THIRD ISSUE

Project: Barn Conversion at Hembington Hall
 Date: 25.01.03
 Scale: 1/50
 Drawing: Proposed Front and Rear Elevations



DATE: 20/01/23
PROJECT: PROPOSED FIRST FLOOR PLAN AND SIDE ELEVATIONS
CLIENT: BERN CONVERSION AT BERNINGTON HALL
DRAWING NO: 102
DATE: 20/01/23
SCALE: 1/50
DRAWN BY: [Signature]
CHECKED BY: [Signature]

